



*Customer Name*  
*Customer Address*

25 November 2020  
Our Ref:

**RE: *Property Address***

Dear \_\_\_\_\_,

Thank you for your kind enquiry and as requested our surveyor, *Surveyors Name*, visited the above property on Monday 23rd November to carry out a damp inspection. We report and quote as follows:

All directions given are as standing in the road, facing the front door.

The property is an extended semi-detached house, constructed of stone and brick which is partly rendered, with external cavity walls. The property has a slate roof, stone chimney, PVC guttering, UPVC & aluminium windows and solid & timber ground floors. At the time of the survey the property was empty but carpeted. An existing DPC was visible in the extended areas. The weather at the time of our inspection was dry with a temperature of approx. 7°C.

The survey was restricted to the area requested - the ground floor walls. Readings taken with the aid of an electrical conductivity type moisture meter (Protimeter) revealed evidence of rising and penetrating damp, and hygroscopic mineral salts to certain areas. See the sketch plan, some areas were inaccessible and are thought to be damp. Other walls tested dry but we have included them in the suggested treatments so as to provide a complete guarantee.

Some higher external levels were identified to the front and rear, also the garage floor is approximately 100mm higher than the house floor.

The garden to the right hand side neighbour is at a lower level and it would be better to match this, or create a lowered area against the property.

Gutters and downpipes must be kept clear and prevented from overflowing or leaking.

Building & Preservation (Northern) Ltd. 3 The Old Laundry,  
Fishergreen, Ripon, North Yorkshire HG4 1NL

Tel: 01765 609990 Email: [enquiries@dbi-ltd.com](mailto:enquiries@dbi-ltd.com)  
Web: [www.dbi-ltd.com](http://www.dbi-ltd.com)



Where dampness is penetrating from high external ground levels, structural abutments etc., it is recommended that either the external levels are reduced or an internal barrier, incorporating a waterproofing agent or membrane, is applied/fixed to those areas at least up to the level of the newly installed damp proof course.

### **Notes**

- We have not carried out a structural survey and our report should not be regarded as a substitute. If you have any worries/queries regarding any structural issues we recommend that you seek advice from a suitably qualified person.
- No tests were possible behind the fitted kitchen units or tiles.

### **Proposed Damp Works**

#### **Note –**

- The kitchen fittings and radiators are to be removed by others, prior to our arrival.
- Works to lower external ground levels, and roof & gutter repairs to stop and prevent water ingress are to be carried out by other prior to our arrival.

The timber wall cladding and existing skirting boards will be removed and disposed of, it is assumed that they will be renewed by others. We will hack off the wall plaster to the height of 1000/2000mm, to be removed from site for waste disposal. We will drill into the walls and inject a silicon cream damp proof course, as shown on enclosed sketch floor plan.

A waterproof wall membrane (as the manufacturers specification) will be applied to the external and party walls shown, and will be sealed at perimeters where necessary.

Fillet seal will be provided where walls meet solid floors.

A combination of plasterboard dry-lining and specialist re-plastering, which will be skimmed to existing levels, will be carried out to the walls shown depending on the thickness of the existing plaster.

We will improve the ventilation to beneath the timber floors, installing 6 additional subfloor air vents.

The area will be left clear and tidy.

## **Costings**

**Silicon Cream Injection Damp Proof Course**

**Waterproof Wall Membrane, Fixed & Sealed**

**Fillet Seal/Wall To Floor Joint**

**Prep, Plasterboard & Skim/Specialist Re-plastering**

**Install 6 Subfloor Air bricks**

**Waste & Transport**

**Sub Total (Incl. 25yr guarantee)**

**+VAT @ 20%**

**Total**

***If you choose to go ahead with the works stated above, the survey fee of £ (Incl. VAT) will be deducted from your final invoice.***

## ***Guarantees***

*Upon completion of our specialist remedial works and full settlement of our final invoice, Danford Brewer & Ives will issue a 25 year independent insurance backed guarantee. (Details on enclosed information sheet)*

As the works described in this report involves a Party Wall, we must draw your attention to the fact that the Party Wall Act 1996 applies. This requires the owner of the property to notify his/her neighbour(s) of proposed works and obtain the neighbours consent to the works. A neighbour cannot unreasonably withhold consent, but should you require further advice of information, please initially contact our office or a suitably qualified party wall surveyor.

Danford Brewer & Ives are very aware of Health & Safety issues and dangers within our industry. Any work that we carry out will be carried out safely, in the best interests of our customers, the general public, and ourselves.

We hope that this quotation meets with your approval. Please don't hesitate to call or email if you have any queries. We will contact you within a week to ensure that you have received all of the information you require.

Yours Sincerely

***Surveyors Name***

Certified Surveyor in Remedial Treatments & Structural Waterproofing by the Property Care Association

ADDRESS OF PROPERTY BEING TREATED

CONTRACT NO.

DATE

25.11.20

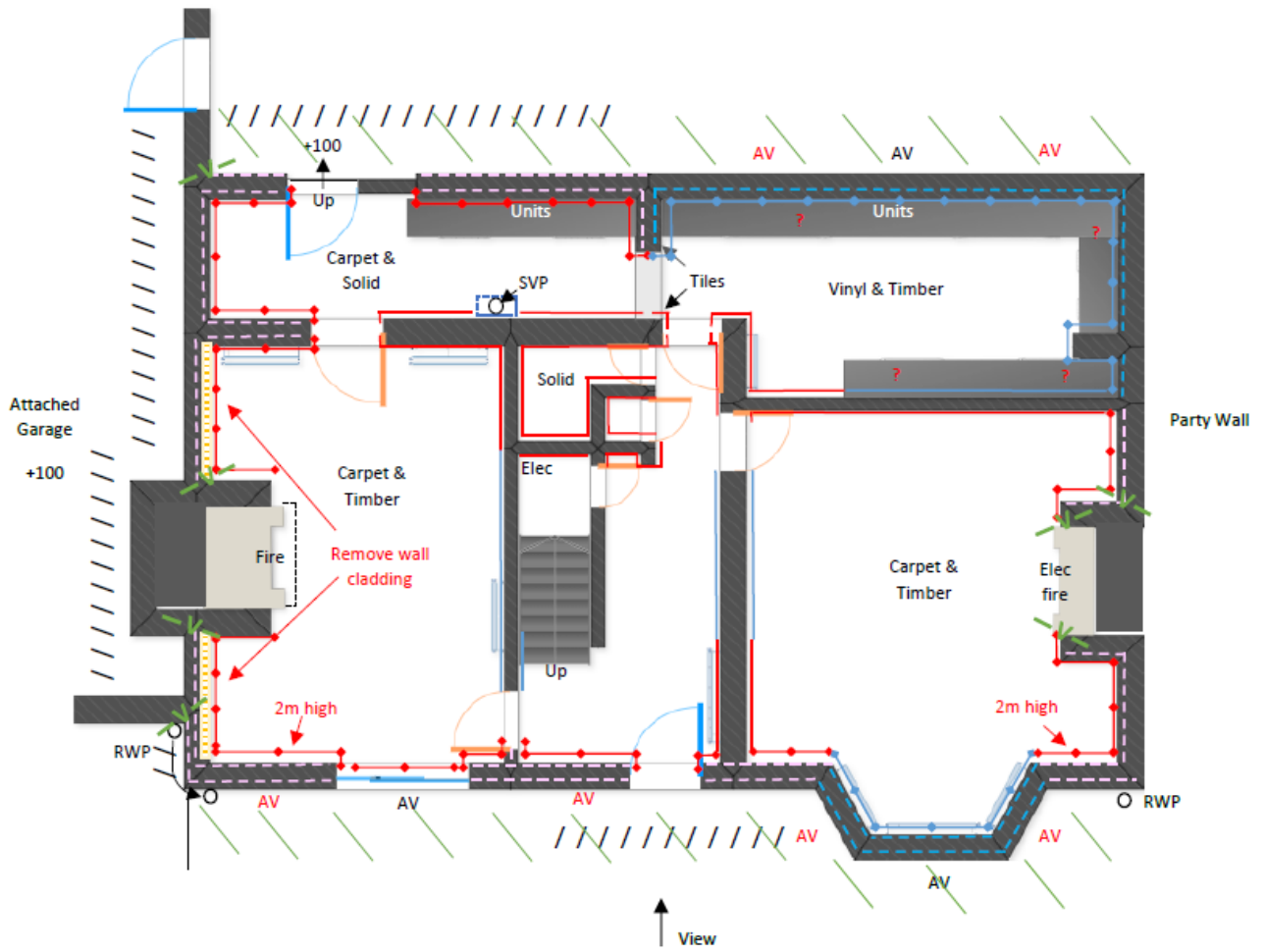
**BUILDING & PRESERVATION  
(NORTHERN) Ltd**



Areas confirmed as damp  
– shown in **RED**

Areas not seen which could be damp or  
suggest that treatments are extended  
to complete the works – shown in **BLUE**

External ground levels should be  
lowered similar to next doors –  
shown in diagonal **GREEN** lines



Plan not to scale

- DPC INJECTION & PLASTERING ———
- DPC ONLY - - - - -
- VERTICAL DPC - V -

- HIGH EXTERNAL GROUND LEVEL /////
- AIR VENT AV
- WATERPROOF MEMBRANE ●—●—●—●—●